



Alberta's Industrial Heartland
Area Structure Plan

Bylaw 780.18

Schedule "A"

Table of Contents

1.0	INTRODUCTION	1
1.1	BACKGROUND	1
1.2	VISION.....	2
1.3	PURPOSE.....	3
1.4	LOCATION.....	3
1.5	PUBLIC CONSULTATION	3
1.6	RELATED DOCUMENTS.....	5
1.7	INTERPRETATION	5
2.0	PLANNING PARAMETERS.....	7
2.1	OVERVIEW.....	7
2.2	MUNICIPAL GOVERNMENT ACT	7
2.3	MUNICIPAL DEVELOPMENT PLAN.....	7
2.4	AREA STRUCTURE PLAN	7
2.5	LAMONT COUNTY LAND USE BYLAW	8
3.0	SITE ANALYSIS.....	9
3.1	EXISTING CONDITIONS.....	9
3.2	ADJACENT LAND USES	9
3.3	INFRASTRUCTURE	9
3.4	TOPOGRAPHY	9
3.5	ENVIRONMENTAL FEATURES.....	13
4.0	DEVELOPMENT CONCEPT	18
4.1	GENERAL LAND USE FRAMEWORK.....	18
4.2	HEAVY INDUSTRIAL POLICY AREA	20
4.3	LIGHT/MEDIUM INDUSTRIAL / HIGHWAY COMMERCIAL POLICY AREA.....	23
4.4	AGRICULTURE INDUSTRIAL POLICY AREA	26
5.0	CIRCULATION.....	31
5.1	TRANSPORTATION NETWORK.....	31
6.0	SERVICING STRATEGY	34
6.1	UTILITY SERVICING	34
7.0	IMPLEMENTATION.....	40
7.1	IMPLEMENTATION MEASURES.....	40
7.2	STAGING.....	40
7.3	MONITORING AND AMENDMENT.....	40

LIST OF APPENDICES

APPENDIX A GLOSSARY.....A.1

LIST OF TABLES

Table 1 Land Use Statistics..... 30

LIST OF FIGURES

Figure 1 Location 6
Figure 2 Existing Land Use Districts 11
Figure 3 Topography 12
Figure 4 Site Features..... 17
Figure 5 Development Concept 29
Figure 6 Transportation Network..... 33
Figure 7 Potable Water Servicing 37
Figure 8 Wastewater Servicing 38
Figure 9 Stormwater Servicing..... 39

1.0 INTRODUCTION

1.1 BACKGROUND

Alberta's Industrial Heartland

Alberta's Industrial Heartland (the Heartland) encompasses approximately 582 square kilometres of land in Alberta's Capital Region. The Heartland area has five neighbouring municipal partners, including the City of Edmonton, the City of Fort Saskatchewan, Lamont County, Sturgeon County, and Strathcona County. Each municipality within the Heartland has developed complementary Area Structure Plans (ASPs) to guide coordinated future growth in the area.

The Heartland represents cooperation between local governments and industries to create a world-class industrial area. This unique region benefits from shared infrastructure, services, and resources, and has a convenient and cost effective location near a skilled workforce and Alberta's oil and gas production. The Heartland is planned as Canada's largest hydrocarbon processing region, and a significant component of the local, provincial, and national economy. This area provides an important processing link from the oil sands in northeastern Alberta to market destinations in North America and overseas, and is an attractive location for chemical, petrochemical, and oil and gas operations. The area is also well suited to manufacturing, logistics, and related support industries. The Heartland allows for coordination and synergy among industry to ensure the economic success of the region, while respecting agricultural activities and surrounding context.

Strategic Attributes of Alberta's Industrial Heartland

The following aspects will contribute to the success of development:

- Significant energy / resource sector investment and activity in Alberta;
- Excellent connections with markets and customers;
- Availability of raw materials and resources;
- International education institutions and a skilled workforce in the region;
- World-scale production and processing facilities;
- Excellent transportation access, including major highways and rail lines, airports, and intermodal facilities;
- Industrial sites linked by major existing pipeline networks, infrastructure, and utility access;
- Lower costs and higher standard of living for cost competitiveness; and
- Supply of larger tracts of land for future large-scale facilities.

Alberta's Industrial Heartland Association

Alberta's Industrial Heartland Association (AIHA) was established in 1998 as a new model in intergovernmental and industry cooperation. Its membership currently includes the City of Fort Saskatchewan, Lamont County, Strathcona County, Sturgeon County, and the City of Edmonton, as well as the Town of Bruderheim, the Town of Gibbons, and the Town of Redwater as associate members. AIHA was established to develop and promote the region as a global leader in processing, manufacturing, and responsible industrial development. One of the primary goals of the Alberta's Industrial Heartland Association (AIHA), as set by its participating partners, is to contribute to the coordination of municipal services. The preparation of complementary plans for the municipal partners is one of the objectives to realize this goal.

The specific tasks associated with the implementation of this objective include:

- Minimizing land use conflicts by ensuring that appropriate land is provided for various types of development through definition of detailed policy;
- Identifying infrastructure requirements including utilities and services;
- Providing stakeholders and interest groups with opportunities for effective input and ongoing communication through a community consultation program; and
- Identifying strategies to implement the ASPs.

Lamont County Lands

The Alberta's Industrial Heartland ASP for Lamont County's portion of the Heartland replaces the original ASP, Bylaw 620/00 and subsequent amendments. Since the adoption of the ASP, some lands have been purchased and developed for industrial development. With growth and change in the region, including local planning framework updates, comes the need for a revised ASP. This ASP reflects economic realities, current planning realities including alignment between the County's planning documents and other Heartland municipal plans, and encourages further compatible development that remains coordinated and beneficial to the County, residents, and the region.

1.2 VISION

Lamont County's portion of the Heartland will include processing, manufacturing, and related supportive development to contribute to the success of the Heartland area. Ideally located heavy industrial, light/medium industrial / highway commercial and agriculture industrial lands, linked by major transportation infrastructure and comprehensive service connections, will develop in a coordinated and compatible fashion to benefit industry and the community. This Plan balances economic, environmental, and community considerations to ensure sustainable growth of the area.

1.3 PURPOSE

The purpose of Lamont County's Alberta's Industrial Heartland ASP is to provide a statutory framework for land use planning of the subject lands, the provision of infrastructure and services, and recognition of existing features and uses as they relate to future development. Planning and development of the subject lands will be in conformance with established planning policies, regulations, objectives, and requirements of the County, as well as the characteristics and opportunities contained within the Plan area.

1.4 LOCATION

Lamont County's Alberta's Industrial Heartland ASP includes approximately 20,300 ha of land located in the western portion of Lamont County, immediately northeast of the Edmonton Capital Region (see Figure 1 Location). The Plan is bordered by Strathcona County and the Town of Bruderheim to the west, the North Saskatchewan River to the northwest, the Town of Lamont and agricultural land within Lamont County to the south, and agricultural land within Lamont County to the north and east. The ASP lands are located along Highway 15, 29, 38, 45, and 831 and have Canadian National (CN) and Canadian Pacific (CP) rail access. Highway 15 provides major access from the east and west, and highway 45 provides a main access route from the north.

1.5 PUBLIC CONSULTATION

Consultation Process

In the fall of 2016, the planning process to amend the Alberta's Industrial Heartland ASP was initiated on behalf of Lamont County. This included initial notification outreach to stakeholders regarding the project. Stantec prepared an Engagement and Communication Plan, which set out the means by which key stakeholders and the public were to be engaged throughout the preparation of the ASP. This plan included in-person meetings with stakeholders, letters, postcards, newspaper advertisements, and public engagement events.

All affected landowners in the area, as well as adjacent municipalities, have been notified in accordance with the Municipal Government Act (MGA).

The following engagement events were held as part of the process:

Public Meeting 1

A Public Meeting was held on October 15, 2016 in the Lamont Arena Meeting Room in Lamont to launch the project, inform the public, and gather feedback and information for the Alberta's Industrial Heartland ASP update. The event was advertised in the Lamont Leader newspaper on September 20, 2016 and September 27, 2016. A postcard notice was also mailed out to the

affected landowners, as well as the Town of Bruderheim and the Town of Lamont. Approximately 55 people attended the meeting.

Public Meeting 2

A second Public Meeting was held on March 2, 2017 in the Lamont Arena Meeting Room in Lamont to inform the public, present development concept options, and gather feedback for the **Alberta's Industrial Heartland ASP** update. The event was advertised in the Lamont Leader newspaper on February 14, 2017 and February 21, 2017. A postcard notice was also mailed out to the affected landowners, as well as the Town of Bruderheim, the Town of Lamont, Lamont and District Chamber of Commerce, and the Alberta's Industrial Heartland Association (AIHA). Approximately 74 people attended the meeting.

Landowner Information Session

An information / question and answer session for landowners within the ASP was held on April 26, 2017 in the Lamont Arena Meeting Room in Lamont. The purpose of the meeting was to generate a better understanding of the ASP process, proposed updates to the ASP, and the associated amendments to the Municipal Development Plan and the Land Use Bylaw. A letter was mailed to all landowners and tenants on March 20, 2017, inviting them to the information session and requesting an RSVP with questions to be submitted in advance. A second event letter was mailed by Stantec to the landowners and tenants within the ASP area on April 13, 2017 to confirm the time and location of the meeting. Follow-up telephone calls were also made. Approximately 82 people attended the meeting.

Public Meeting 3

A third Public Meeting was held on June 29, 2017 in the Lamont Arena Meeting Room in Lamont to inform the public, present the draft preferred development concept options, and gather feedback for the **Alberta's Industrial Heartland ASP** update. The event was advertised in the Lamont Leader newspaper on June 13, 2017 and June 20, 2017. A postcard notice was also mailed out to the affected landowners, as well as the Town of Bruderheim, the Town of Lamont, Lamont and District Chamber of Commerce, and the AIHA. Approximately 53 people attended the meeting.

Public Meeting 4

A fourth Public Meeting was held on December 6, 2017 in the Lamont Arena Meeting Room in Lamont to gather feedback on the draft MDP and LUB amendments for the ASP update project. The event was advertised in the Lamont Leader newspaper on November 22, 2017 and November 29, 2017. A postcard notice was also mailed out to the affected landowners, as well as the Town of Bruderheim, the Town of Lamont, Lamont and District Chamber of Commerce, and the AIHA. Approximately 50 people signed in for the meeting.

Public Hearing

In accordance with the Municipal Government Act, a public hearing was held on February 13, 2018 in order to hear from parties affected by the proposed bylaw and to prepare for a decision by Lamont County Council.

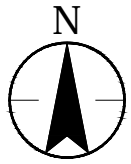
1.6 RELATED DOCUMENTS





Several technical reports have been provided under separate cover to Lamont County to support the **Alberta's Industrial Heartland ASP**. These include:

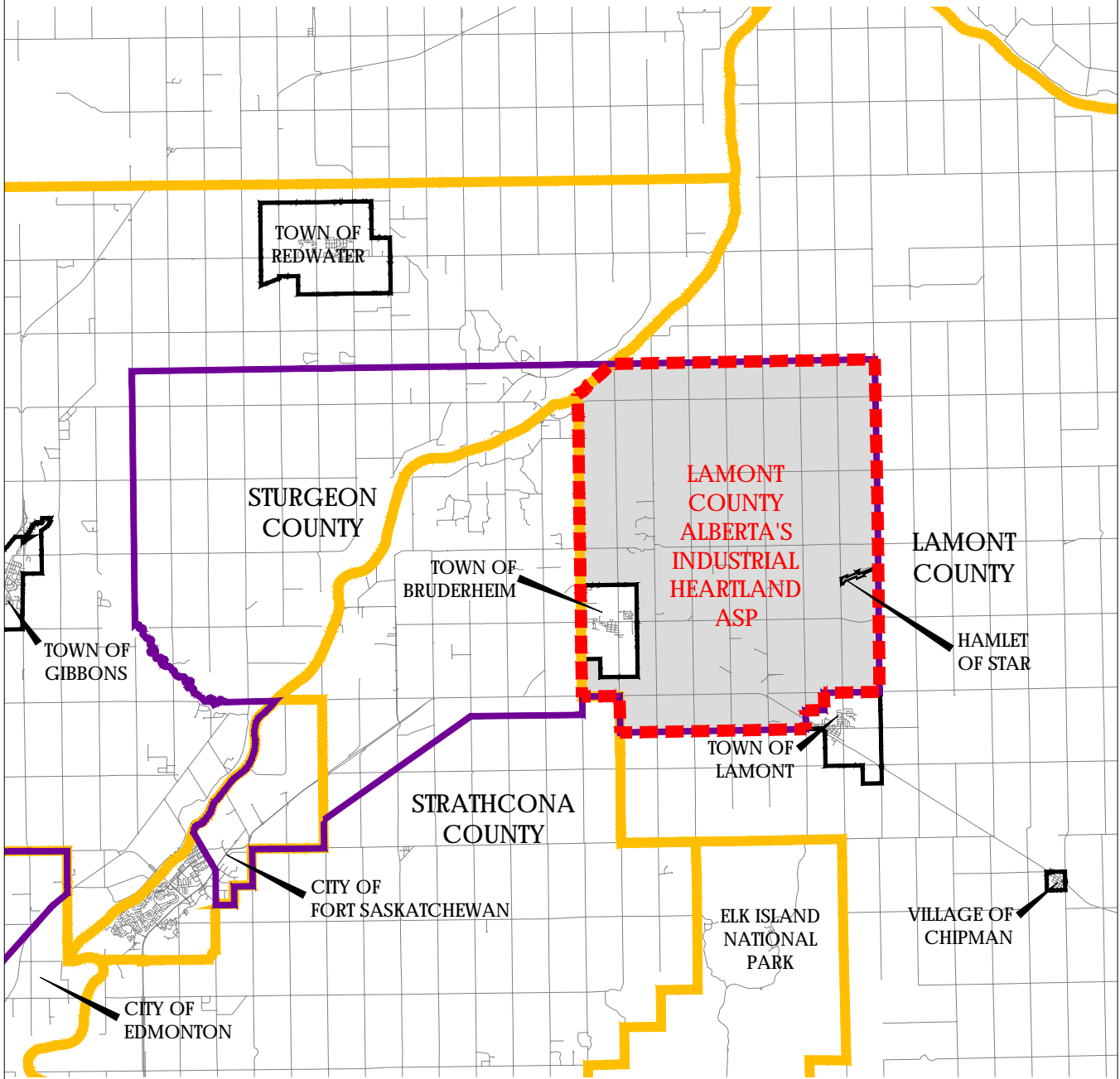
- Transportation Impact Assessment;
- Desktop Biophysical Assessment;
- Desktop Geotechnical Study; and
- Servicing Design Brief.

1.7 INTERPRETATION

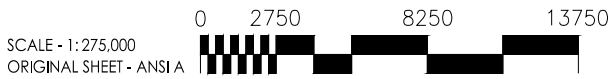
All areas, map symbols, locations, and boundaries contained within the **Alberta's Industrial Heartland ASP** shall be interpreted as approximate unless otherwise specified in the Plan, or coincide with clearly recognizable physical features or fixed (i.e. legal) boundaries.



-  Lamont County A.I.H. ASP Boundary
-  Heartland Study Area
-  County/City Boundary
-  Town/Hamlet/Village Boundary



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May 1, 2018
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Client/Project
LAMONT COUNTY
ALBERTA'S INDUSTRIAL HEARTLAND
AREA STRUCTURE PLAN

Figure No.
1.0

Title
LOCATION

2.0 PLANNING PARAMETERS

2.1 OVERVIEW

The Alberta's Industrial Heartland ASP has been prepared with specific reference to the following planning parameters. Planning for the ASP has been completed in conformance with the MGA, and with the purpose of aligning with the Lamont County Municipal Development Plan (MDP), the Land Use Bylaw (LUB), and other relevant municipal planning and policy documents.

2.2 MUNICIPAL GOVERNMENT ACT

The MGA is the provincial legislation that allows municipalities to govern the development of lands within their boundaries in a logical, timely, economical, and environmentally responsible manner. This ASP has been prepared in accordance with the MGA.

Section 633 of the MGA enables municipalities to adopt ASPs as statutory plans for the purpose of providing a framework for future land use, subdivision, and development within a plan area. As per the MGA, ASPs must further describe:

- The sequence of development proposed;
- Proposed land uses;
- Density of population; and
- General location of major transportation and infrastructure routes.

2.3 MUNICIPAL DEVELOPMENT PLAN

Lamont County's MDP articulates a long-range vision for growth through policies that provide the opportunity for industrial and residential development, while at the same time support the agricultural base of the County. The Lamont County Alberta's Industrial Heartland ASP provides land use policy direction that aligns with the vision and policies identified in the MDP for encouraging and providing for industrial growth in the County.

2.4 AREA STRUCTURE PLAN

ASPs provide a framework for a defined area of a municipality. Guided by the MDP, an ASP describes the pattern of development, land uses, and the general location for major transportation routes and public utilities. Lamont County's Alberta's Industrial Heartland ASP has been prepared and adopted as a statutory plan in conformance with the regulations of the MGA.

2.5 LAMONT COUNTY LAND USE BYLAW

The LUB regulates and controls the use and development of land and buildings within the municipality. Land Use Districts (zoning) under the Land Use Bylaw will align with the land use designations identified in the ASP concept. The Land Use Bylaw will provide direction to regulate development and implement the policy direction of the ASP.

3.0 SITE ANALYSIS

3.1 EXISTING CONDITIONS

A large central portion of the Plan is zoned for industrial use, with a surrounding transition buffer area of lands zoned for less intensive agriculture related uses (see Figure 2 Existing Land Use Districts). Much of the ASP land is currently used for mixed agricultural purposes, such as grain farming and pasture land, with several parcels under industrial use or proposed for development. The northern portion of the ASP contains existing institutional sites (religious facilities) and there are several rural residences scattered throughout the Plan area. The northwest portion of the ASP includes the North Bruderheim Provincial Recreation Area, which contains a large concentration of environmentally sensitive features. Beaverhill Creek, Lamont Creek, and Astotin Creek flow through the Plan area to the North Saskatchewan River in the northwest.

3.2 ADJACENT LAND USES

The lands to the north are within Lamont County and are primarily agricultural. To the northwest is the North Saskatchewan River Valley, with Sturgeon County on the opposite side.

Lands immediately to the west fall within Strathcona County's portion of the Heartland, and include a buffer of transition and environmental land use designations adjacent to Lamont County's Alberta's Industrial Heartland ASP. The Town of Bruderheim is also situated on the western side of the ASP, surrounded by Alberta's Industrial Heartland lands on all sides, including Strathcona County to the west.

Lands to the south of the Plan area are within Lamont County and are primarily agricultural. The Town of Lamont is located immediately southeast of the ASP boundary.

Lands to the east of the Plan area are within Lamont County and are primarily agricultural.

3.3 INFRASTRUCTURE

The ASP area contains existing infrastructure to support development. This includes Highway 15, 29, 38, 45, and 831, and CN and CP rail lines that pass through the Plan area and provide access for development. Furthermore, several major pipeline and utility corridors pass through the area to serve existing and future development.

3.4 TOPOGRAPHY

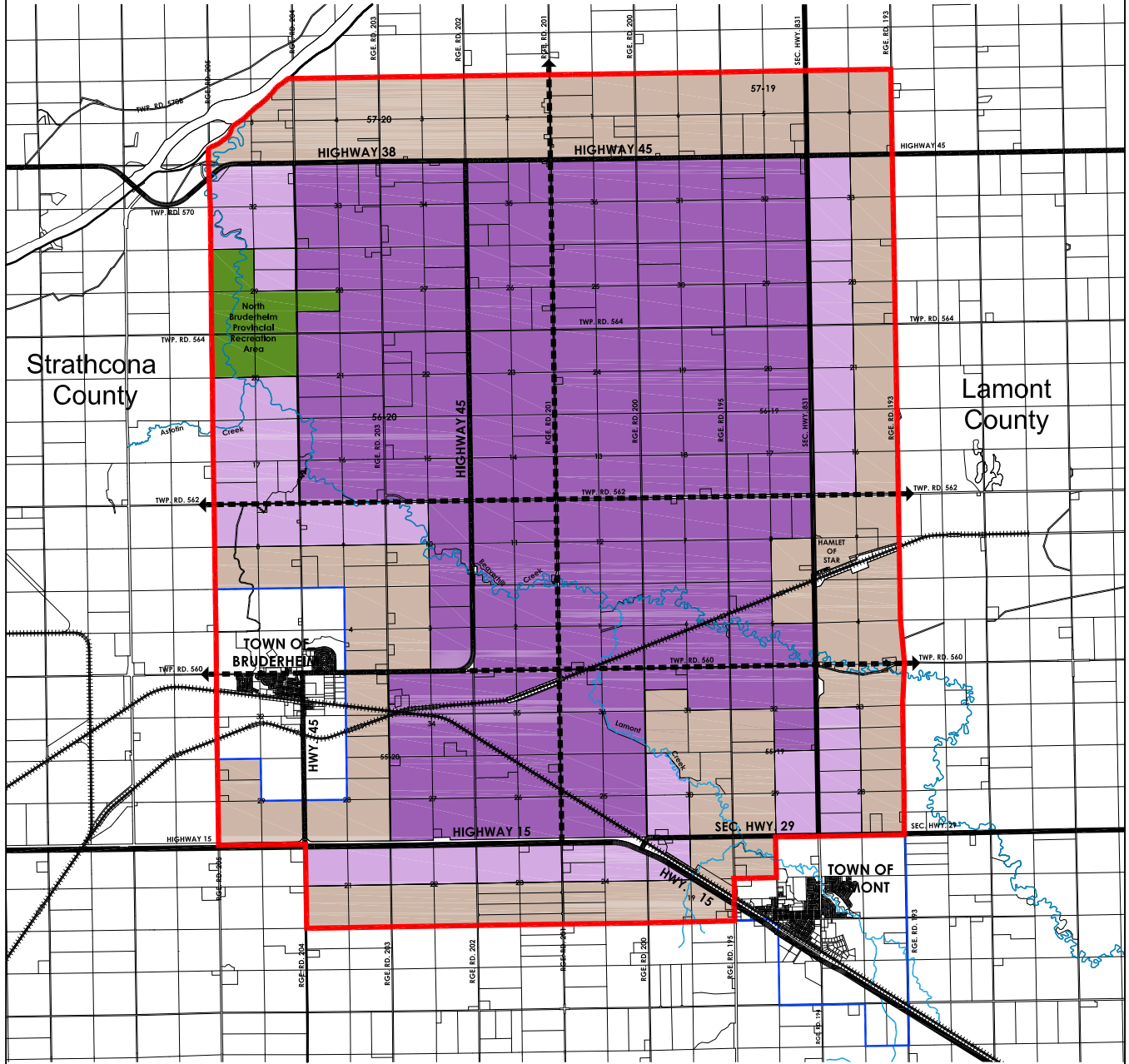
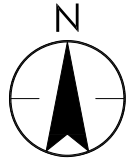
The Plan area generally slopes from southwest to north and northeast and is composed of relatively flat, or low-relief undulating deposits. Topography for the area is as shown on Figure 3 Topography. Significant topographic features include the North Saskatchewan River Valley to

the northwest and the adjoining Beaverhill Creek, which flows southeast to northwest through the Plan area from Beaverhill lake.

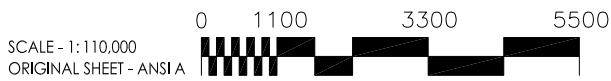
Desktop evaluation of the ASP lands has been undertaken to determine areas requiring more detailed geotechnical investigations relative to future development. The flat or low relief areas, which comprise more than 97% of the ASP, are identified as having low landslide initiation potential. Only a small portion of the Plan area is identified as having a moderate landslide hazard ranking, representing much of the area along Beaverhill Creek and the North Saskatchewan River. An even smaller portion of the Plan area, largely along the portions of Beaverhill Creek near the North Bruderheim Provincial Recreation Area, is identified as having a high landslide hazard ranking.

It is recommended that geotechnical site investigations be carried out where development is planned along or near moderate or high landslide initiation hazard terrain and in areas of organic soils with low bearing capacity to confirm soil conditions and potential landslide hazards. In addition, setbacks are recommended where development is proposed near the top of banks mapped as moderate or high to avoid being affected by a potential landslide, as well as to avoid initiation of a landslide. Details of the geotechnical assessment are provided in the 2016 report completed by Stantec Consulting Ltd. titled Desktop Terrain and Landslide Initiation Hazard Mapping.

- Lamont County A.I.H. ASP Boundary
- Heartland Light/Medium Industrial/Highway Commercial
- Heartland Heavy Industrial
- Heartland Agriculture Industrial
- Environmental Conservation
- Major Transportation Corridor
- Highway
- Rail
- Creek
- Municipal Boundary



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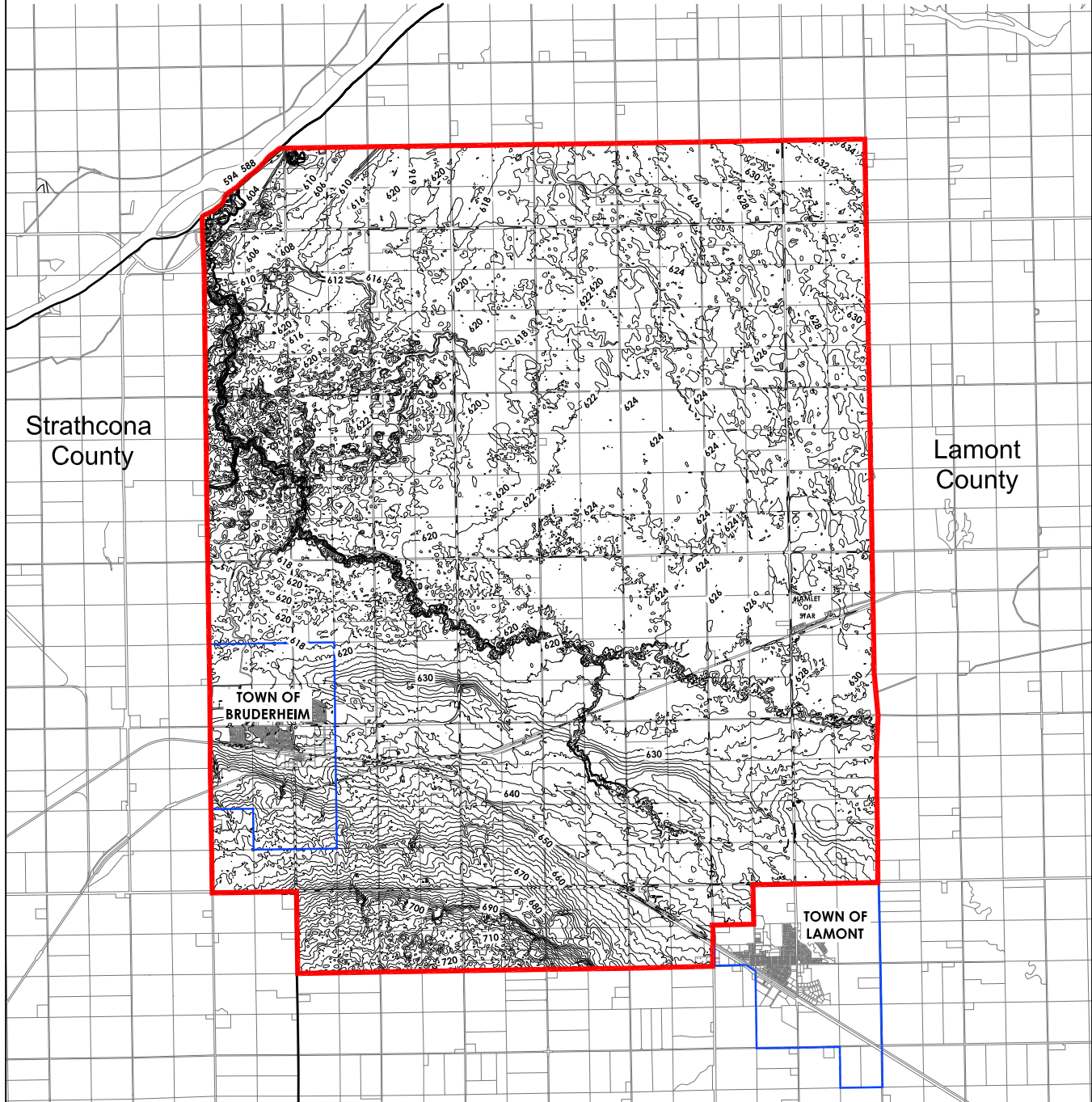
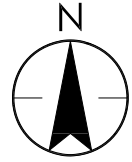
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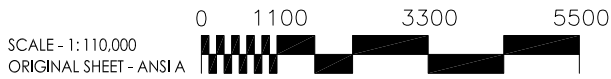
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Title
LAND USE DISTRICTS

— Lamont County A.I.H. ASP Boundary



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AREA STRUCTURE PLAN
Figure No.
3.0
Title
TOPOGRAPHY

3.5 ENVIRONMENTAL FEATURES

Biophysical Assessment

A desktop Biophysical Assessment was completed in 2016 for the ASP area. The objective of this desktop review was to assist with the identification of important environmental features that may pose constraints for future development or that warrant conservation or incorporation into future development. Items reviewed as part of this assessment included soils, hydrology, vegetation and wetlands, wildlife, environmentally significant areas, historical resources, pipelines, wellsites, and other oil and gas facilities. The results of the desktop Biophysical Assessment are intended to be considered within the context of the findings from other sectors examined as part of the overall ASP development. As a field investigation was not undertaken, the Biophysical Assessment recommends that fieldwork be completed prior to development to confirm features present and conservation efforts required. Features identified in the Biophysical Assessment can be found in Figure 4 Site Features. Details of the desktop Biophysical Assessment can be found in the 2016 report by Stantec Consulting Ltd. titled Environmental Desktop Review.

Vegetation

Much of the ASP is located within the Central Parkland Subregion of the Parkland Natural Region, with the northwest portion of the ASP being located in the Dry Mixedwood Natural Subregion of the Boreal Forest Natural Region. Historical and current agricultural activities and recent urbanization within the Central Parkland Subregion have altered much of the native vegetation and fragmented the remaining native habitat patches. The forested portions within this subregion are dominated by aspen groves in the moist sites and grassland communities on drier sites. Wetland communities are another important component of the Central Parkland Natural Subregion. The Dry Mixedwood Natural Subregion is dominated by deciduous and mixedwood forests. Habitat types within the ASP include standing water, wetlands, riparian areas, shrublands and forested areas.

Forested and shrubland areas with the highest potential for conservation include the area associated with the North Saskatchewan River and the lower reaches of Beaverhill Creek, including the North Bruderheim Provincial Recreation Area. This area contains the majority of forested and shrubland habitat, and the desktop review identified species of management concern as well as cultural resource features in the area. Fieldwork should be completed to confirm if forested areas within development are suitable for conservation. Appropriate mitigation measures such as tree protection zones or buffers should be considered for all conserved areas.

Geology

Geology consists largely of Belly River Group bedrock with deposits of sandstone, carbonaceous siltstone, and coal. Surficial geology is primarily eolian sediments of sand and silt, and glaciolacustrine sediments of sand, silt, and clay. Moraine and till deposits also occur in the

northern and southern extents of the ASP. Surface geology along Beaverhill Creek is characterized by quartzite, chert gravel, cobbles and sand.

Soils

Soils in the ASP are primarily Chernozemic, which are well to imperfectly drained and contain organic matter, Gleysolic, which have good moisture holding capacity, and Solonchic in the southern portion, which contain high salinity. Class 1 and 2 soils, which have no or moderate limitations to growth are the dominant classes.

Hydrology

The ASP is bisected by Beaverhill Creek, which consists of riparian habitat that remains largely undisturbed. Astotin Creek and Lamont Creek are tributaries to Beaverhill Creek. Most of the southwest Plan area drains to the North Saskatchewan River through Beaverhill Creek, while the northeast portion of the Plan area drains through an unnamed creek. Given the sensitivity and importance of the riparian areas in the ASP, appropriate buffers should be maintained and disturbance should be minimized. Additional biophysical and cultural studies are also recommended for developments proposed in proximity to these waterbodies/watercourses.

In addition to these noted watercourses, a number of wetlands and unnamed watercourses are located within the ASP. The majority of the wetlands are located in the northern half of the ASP. Only approximately 1% of these wetlands are identified as class A (highest value), however due to the number and varying sizes and types of wetlands in the Plan area field assessments are required to verify wetland classification, boundary, and value prior to development. Proposed developments will need to follow the wetland mitigation hierarchy of "avoid, minimize and replace" in accordance with the Alberta Wetland Policy.

Flood hazard areas for a portion of Lamont Creek were identified by the Government of Alberta in 2016. It should be noted that although only a portion of Lamont Creek has been mapped, the potential for flooding exists along the remaining reaches of Lamont Creek and other watercourses within the ASP.

Wildlife

Wildlife found within the ASP include several generalist species with ranges that encompass the adjacent natural regions, including mammals, amphibians, reptiles, birds, and fish. Wildlife habitat and ranges for protected species of management concern were identified, including colonial nesting bird habitat for great blue herons (near the North Saskatchewan River), sharp-tail grouse range (throughout ASP) and a sensitive raptor-range for bald eagle nests (throughout ASP). Setback distances may apply to development following field surveys.

Environmentally Significant Areas

The ASP also includes Environmentally Significant Areas (ESAs) which contain rare or unique elements in the province or elements that may require special management consideration due to their conservation needs.

North Bruderheim Provincial Recreation Area

The North Bruderheim Provincial Recreation Area (PRA), which covers approximately 443 ha, is a large environmentally sensitive area located in the northwest of the ASP. A change of status has occurred since the last ASP update, and the North Bruderheim Natural Area was re-classified as a Provincial Recreation Area by Alberta Environment and Parks (AEP), which is governed by the Provincial Parks Act. Under the new classification, activities within this site are managed and administered by AEP – Parks Division. The Bruderheim PRA contains unique sandy soils including sand dunes.

Historical Resources

A review of the current Listing of Historical Resources completed in October 2016, identified lands that contain or have a high potential to contain historic resources. Depending on the proposed activity, Historical Resources Act clearance may be required for development in these areas.

Wellsites, Pipelines and Facilities

The Plan area contains extensive oil and gas activity including numerous existing gas wellsites and pipelines as well as other oil and gas facilities. From a utility corridor perspective, there are two primary pipeline corridors that cross the northwest corner of the ASP. Development setbacks and/or restrictions will apply to these features.

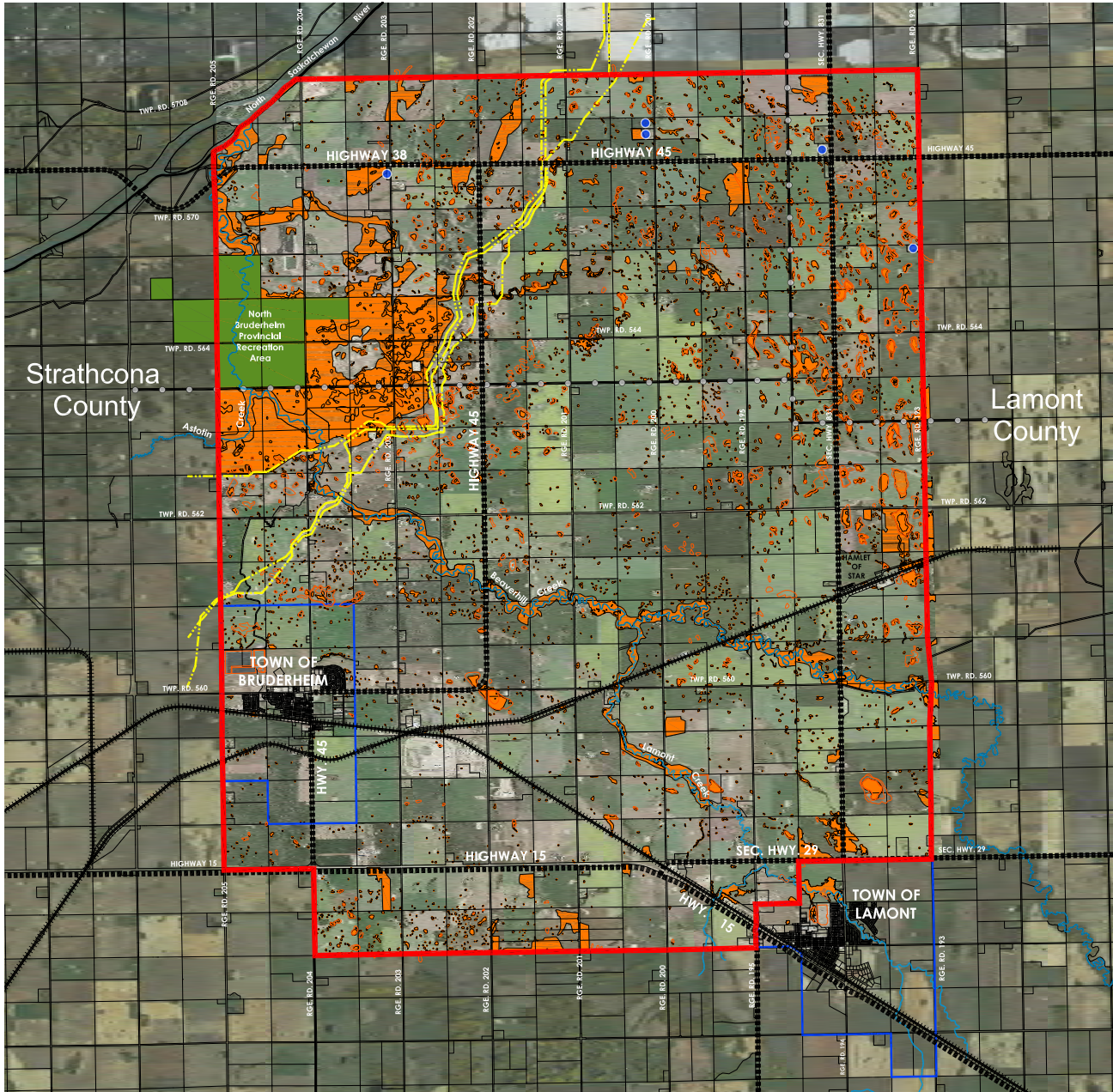
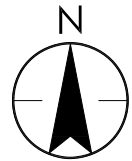
Objectives

1. Protect the North Bruderheim Provincial Recreation Area.
2. Protect the North Saskatchewan River.
3. Protect Beaverhill Creek, Lamont Creek, and Astotin Creek.
4. Conserve wetlands on a targeted basis.
5. Promote natural area and habitat preservation and connectivity.

Policies

- 3.5.1** At the discretion of Lamont County and prior to development, detailed Biophysical Assessments / updates may be required for lands within the Plan area to confirm and delineate environmental features.
- 3.5.2** Development proposals shall be reviewed against municipal, provincial, and federal regulations and policies to confirm regulatory requirements and site-specific environmental studies to support a proposed development.
- 3.5.3** At the time of subdivision, Municipal and Environmental Reserves shall be dedicated in accordance with County Policy and the MGA.
- 3.5.4** Development shall not be permitted within the North Bruderheim Provincial Recreation Area. Activities within this site are managed and administered by AEP – Parks Division under the Provincial Parks Act. Development surrounding the North Bruderheim Provincial Recreation Area should provide required buffers and mitigation measures, to the satisfaction of the County and Province, to ensure no adverse impacts to these Provincial lands.
- 3.5.5** Development on parcels where wetlands, waterbodies, and/or watercourses are located shall be in accordance with Provincial (Public Lands Act and the Water Act) and County regulations and policies. Fieldwork may be required to confirm boundaries and value of these features prior to development. Development should first be directed to lands that do not contain these features. When avoidance and minimization of disturbance is not possible, compensation requirements for wetlands that are removed will be enforced through Alberta Sustainable Resource Development and its Water Act. Conservation of higher class wetlands shall be prioritized.
- 3.5.6** Development should be directed away from environmentally sensitive lands, in accordance with the County's MDP, to protect natural features and maintain habitat connectivity.
- 3.5.7** Proponents of development near water courses shall submit a top-of-bank survey and geotechnical study as part of a subdivision and/or development permit application to delineate top-of-bank setbacks.
- 3.5.8** A development setback shall be applied to rivers and creeks (ie. North Saskatchewan River, Beaverhill Creek, Astotin Creek, and Lamont Creek) and waterbodies within the Plan area to conserve and protect the waterway, riparian area, and the functional upland zone. Setbacks shall be in accordance with the Lamont County Land Use Bylaw (completion of a geotechnical report may further delineate the setback requirement).

- Lamont County A.I.H. ASP Boundary
- Environmentally Sensitive Features
- North Bruderheim Provincial Recreation Area
- Institutional (Religious Facility)
- Major Power Lines
- Municipal Boundary
- Highway
- Rail
- Major Pipeline Route (Oil)
- Creek



SCALE - 1:110,000
ORIGINAL SHEET - ANSIA

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Client/Project
LAMONT COUNTY
ALBERTA'S INDUSTRIAL HEARTLAND
AREA STRUCTURE PLAN

Figure No.
4.0

Title
SITE FEATURES

4.0 DEVELOPMENT CONCEPT

4.1 GENERAL LAND USE FRAMEWORK

Purpose

The Alberta's Industrial Heartland ASP provides direction for the development of lands for world-leading processing, manufacturing and related supporting uses. This Plan capitalizes on the available land supply, locational attributes, and infrastructure opportunities suitable to industry to provide a framework for land use and development within Lamont County's portion of the Heartland.

The ASP framework includes a Development Concept, which consists of several Policy Areas and key features (illustrated in Figure 5 Development Concept). The Development Concept is intended to be complementary to the plans prepared by the other Heartland municipal members. Policy Areas within this Plan contain supporting purpose statements, objectives, and policies in the following sections. This ASP contains a Heavy Industrial Policy Area, Light/Medium Industrial / Highway Commercial Policy Area, and Agriculture Industrial Policy Area.

Development Concept Rationale

The ASP includes a central heavy industrial area, which allows for a range of manufacturing, processing, and refining facilities. This Heavy Industrial Policy Area promotes and supports heavy industrial development by providing access to rail, highways, and services, compatibility with adjacent land uses, and a location with surrounding transition buffers to minimize nuisance and risk. Portions of this area also include additional policy direction to support risk mitigation for the Town of Lamont and the Town of Bruderheim.

Lands are identified on the west side of the ASP, south of Highway 15, west of Highway 831, and north of Highway 29 near the Town of Lamont for Light/Medium Industrial / Highway Commercial development. These lands provide a transition between heavy industrial activities and other non-industrial activities. This Policy Area will provide for light and medium industrial uses that support adjacent heavy industrial development, as well as highway commercial uses for the public travelling along the adjacent highways. Due to the limited impact on adjacent lands and the service nature of this Policy Area, it has been located near highways, heavy industrial lands, by towns, and on lands less suitable for heavy industrial development.

The Agriculture Industrial Policy Area provides a transition buffer between heavy industrial activities, towns and non-industrial uses outside the Plan area to the north, south, and east. This area is intended to foster value-added activities which support the agriculture industry. Uses will include agricultural production and processing and agriculture-related light industrial and business uses compatible with adjacent heavy industrial and light/medium industrial / highway commercial uses and agricultural lands.

This approach allows for a range of compatible and beneficial uses that capitalize on the land base, locational attributes, and infrastructure and servicing opportunities suitable to industry and related supportive uses.

Objectives

1. Support industrial and related supportive uses in a mutually compatible, environmentally sound, and economically efficient manner.
2. Minimize land use conflicts.
3. Ensure coordination and compatibility with adjacent municipalities in Alberta's Industrial Heartland.

Policies

The following general policies are applicable to all lands within the ASP:

- 4.1.1** All proposed land uses shall be in conformance with Lamont County's MDP and LUB regulations as well as the respective Policy Areas identified in the ASP.
- 4.1.2** Approval of development and activities within the Plan area shall be compatible with development in adjacent **Alberta's Industrial Heartland** municipalities.
- 4.1.3** Development proposals may be required to provide an environmental impact assessment and a risk assessment to identify the impact of the proposed development, and indicate both if and how any negative matters can be mitigated, in accordance with the County's MDP and LUB.
- 4.1.4** A gradient of land uses will transition from heavy industry to light/medium industrial / highway commercial and agriculture industrial, to the agricultural uses that surround the Plan boundary.
- 4.1.5** Emergency services shall be addressed in consultation with the appropriate service agencies, and through cooperation between industry, residents, neighbouring municipalities and local authorities. New industrial developments may be required to prepare emergency response plans at the development permit stage in accordance with Lamont County requirements.

- 4.1.6** No development shall be permitted on hazard lands prone to erosion, subsidence, or flooding, except for extensive agricultural uses, or interim resource extraction, approved on a site by site basis with appropriate risk mitigation measures, in accordance with the Lamont County Land Use Bylaw. New permanent development shall not be permitted within the 1:100 year flood way of any river, creek, or watercourse. New development may be permitted in the 1:100 year flood fringe, subject to flood proofing provisions to the satisfaction of Lamont County. An applicant may be required to submit a flood plain study to delineate the flood way or flood fringe and appropriate mitigation measures.
- 4.1.7** Existing resource extraction operations will be permitted to continue. Resource extraction shall be permitted in areas deemed by the County to have economic viability, are compatible with adjacent land uses and environmental features, and subject to statutory approvals. Resource extraction will minimize any negative impacts on the environment, and will require a development and reclamation plan, in accordance with Provincial acts and regulations and Lamont County's LUB.
- 4.1.8** Applications for development shall be referred to Alberta Culture and Tourism to assess potential impacts on historic resources. Proponents may be required to complete Historic Resources Impact Assessments, in accordance with relevant Provincial government regulations. Submission of a Statement of Justification (SoJ) for Historical Resources Act Clearance is required by Alberta Culture and Community Spirit (ACCS) for development of lands within the Plan area.
- 4.1.9** Requirements within this ASP shall apply to new development proposals only. The Plan is not intended to impede existing operations and will take into consideration development that existed prior to the passage of this Bylaw.

4.2 HEAVY INDUSTRIAL POLICY AREA

Purpose

The purpose of the Heavy Industrial Policy Area is to support and promote heavy industry, such as petrochemical processing and manufacturing, oil and gas refining, and associated industries. Supporting uses could include cogeneration power facilities, air separation units and carbon dioxide purification plants. The accommodation of these activities will be done in ecologically and economically sound ways. This will allow



for processing and manufacturing industries that support enhanced environmental and economic performance through synergies within the Plan area. Extensive agricultural operations will also be permitted to operate in the area.

Lands within the central portion of the Plan are designated as Heavy Industrial Policy Area. Uses in this area may have nuisance and risk impacts off-site. Additional policy direction is identified in the Heavy Industrial Policy Area to ensure compatibility between heavy industry and the uses that surround it. This includes mitigation of risk and nuisance between heavy industrial lands in Lamont County that are located in proximity to the town of Lamont. Heavy industrial uses will also need to mitigate risk and nuisance in proximity to the town of Bruderheim.

Objectives

1. Ensure a supply of suitable heavy industrial lands to meet the needs of industry.
2. Promote compatibility and synergy between industrial development and other land uses.
3. Minimize risk and nuisance through appropriate transition and separation between heavy industry and other uses.
4. Minimize the residential populations in proximity to industrial operations.
5. Accommodate heavy industry in an environmentally sound, economically efficient, and logical manner.
6. Encourage maintenance and incorporation of agricultural activities with heavy industrial activities in mutually compatible ways.

Policies

- 4.2.1** Heavy industrial uses shall be developed in accordance with Figure 5 Development Concept.
- 4.2.2** Heavy industrial activities shall comply with all municipal, provincial, federal approvals as required.
- 4.2.3** Buffers may be required between uses which may be incompatible with adjacent or nearby uses to minimize land use conflict, risk, and nuisance, to the satisfaction of the County. Required buffering will be determined by Lamont County at the time of Subdivision or upon issuance of a Development Permit. Buffers may be subject to a landscape management plan prepared by the proponent to the satisfaction of the County.

- 4.2.4** Existing residences and accessory agriculture buildings within the Heavy Industrial Policy Area will be allowed to be maintained and upgraded. Except within areas prone to erosion, subsidence, flooding, particularly within the 1:100 year flood plain, existing dwellings and accessory agriculture buildings will be permitted to be rebuilt if destroyed. In accordance with the Land Use Bylaw, first parcel out subdivision will be permitted. Quarter sections will be allowed to be subdivided into ~80 acre parcels for agricultural purposes, but no new dwellings will be permitted. This minimization of residential development will limit conflict between industrial and residential activities.
- 4.2.5** Industrial parcels sizes and numbers are not prescribed, but must be shown to be valid and with proper access for the industrial development proposed, to the satisfaction of the County.
- 4.2.6** Uses that encourage public assembly, including religious facilities, shall not be permitted within the Heavy Industrial Policy Area.
- 4.2.7** Extensive agriculture (grazing, cropping) will continue to be allowed in the area. Future expansions will be in accordance with all regulations and codes established by the Province.
- 4.2.8** Intensive agriculture (greenhouses, market gardens) and livestock operations may be permitted to operate as they are in the Heavy Industrial Policy Area. Operations will be subject to all pertinent agricultural management guidelines and controls to reduce potential conflict with adjacent non-agricultural land uses.
- 4.2.9** Expansion of agricultural operations within the Heavy Industrial Policy Area will be limited to the development of accessory uses, at the discretion of Lamont County.
- 4.2.10** Site-specific activities including road and rail traffic, noise, vibration, smoke, dust, odour, fumes, and lighting shall be evaluated at the time of development permit application so that nuisance is mitigated to an appropriate level to the satisfaction of Lamont County through implementing applicable industry standards, best practices and regulatory requirements.
- 4.2.11** Heavy industry should explore opportunities to share infrastructure such as pipelines, transmission lines, telecommunication, district heating and cooling, waste management initiatives with one another and with agricultural activities in the area.
- 4.2.12** At the subdivision or development permit stage, Lamont County may require risk and environmental impact assessments as part of the application process for heavy industrial uses. The risk assessment shall be completed to the satisfaction of Lamont County to ensure suitable setbacks are provided to mitigate any effect on the safety, use, amenity or enjoyment of adjacent or nearby uses.

- 4.2.13** Heavy petrochemical industry shall not be allowed within SE 36-55-20 W4, the NE, S ½ NW, SE and SW Section 31-55-19 W4 and section 32-55-19 W4.
- 4.2.14** Heavy petrochemical industry within Section 25-55-20 W4 shall demonstrate through a MIACC-style risk assessment that the risk of a human fatality from an incident such as fire, explosion or leak of or from any material or process to be located or used within the heavy petrochemical industrial use that exceeds 1:1,000,000 in one year does not extend beyond the southern and eastern boundaries of Section 25-55-20 W4.
- 4.2.15** New heavy industrial development within 3.0 km of the Town of Bruderheim or the Town of Lamont shall demonstrate through a MIACC-style risk assessment that the risk of a human fatality from an incident such as fire, explosion or leak of or from any material or process to be located or used that exceeds 1:1,000,000 in one year does not extend beyond the boundaries of the subject parcel, to the satisfaction of the County.
- 4.2.16** Outdoor storage shall be screened from roadways and adjacent properties through landscaping, berms, and/or fencing, to the satisfaction of Lamont County.
- 4.2.17** Loading and storage facilities shall be located away from residential uses, where feasible, and appropriately screened and/or buffered to the satisfaction of Lamont County.
- 4.2.18** Landscaping, berms and/or fencing shall be provided for new industrial development along highway corridors and adjacent to residential uses in accordance with Lamont County requirements.
- 4.2.19** Buffers may be required between uses which may be incompatible with adjacent or nearby uses to minimize land use conflict, risk, and nuisance, to the satisfaction of the County. Required buffering will be determined by Lamont County at the subdivision or development permit stage. Buffers may be subject to a landscape management plan prepared by the proponent to the satisfaction of the County.

4.3 LIGHT/MEDIUM INDUSTRIAL / HIGHWAY COMMERCIAL POLICY AREA

Purpose

The purpose of the Light/Medium Industrial / Highway Commercial Policy Area is to support a mix of light and medium industrial uses that are compatible with adjacent agricultural and heavy industrial uses, and which provide transition from heavy industrial lands. These lands are in proximity to the Town of Lamont, and will generally have access to the major highways in the area.

This allows for highway commercial uses in appropriate locations which provide accessible services to support industry and the travelling public.

Examples of uses in this area include industrial support service industries, warehousing, storage, equipment sales, rental, and repair, service stations, hotels, and eating establishments.



Objectives

1. Ensure a supply of suitable light/medium industrial lands to meet the needs of industry.
2. Ensure a supply of accessible highway commercial lands to meet the needs of those travelling along major highways, where appropriate.
3. Promote compatibility and synergy between industrial development and other land uses.
4. Ensure developments have enhanced visual form and character along highway corridors and adjacent towns.
5. Provide a transition from heavy industry to other non-industrial uses.
6. Accommodate light/medium industrial / highway commercial development in an environmentally sound, economically efficient, and logical manner.
7. Encourage maintenance and incorporation of agricultural activities with light/medium industrial / highway commercial activities in mutually compatible ways.

Policies

- 4.3.1** Light/medium industrial / highway commercial uses shall be developed in accordance with Figure 5 Development Concept.
- 4.3.2** Light/medium industrial / highway commercial activities shall comply with all municipal, provincial, federal approvals as required.
- 4.3.3** Highway commercial uses in this Policy Area shall be located within one quarter section immediately adjacent to major highways identified within this Plan.

- 4.3.4** Existing residences and accessory agriculture buildings within the Light/Medium Industrial / Highway Commercial Policy Area will be allowed to be maintained and upgraded. Except within areas prone to erosion, subsidence, flooding, particularly within the 1:100 year flood plain, existing dwellings and accessory agriculture buildings will be permitted to be rebuilt if destroyed. In accordance with the Land Use Bylaw, first parcel out subdivision will be permitted. Quarter sections will be allowed to be subdivided into 80 acre parcels for agricultural purposes. New dwellings will be allowed at the discretion of the County, to ensure compatibility and limit conflict between industrial and residential activities.
- 4.3.5** Industrial parcels sizes and numbers are not prescribed, but must be shown to be valid and with proper access for the industrial development proposed, to the satisfaction of the County.
- 4.3.6** Extensive agriculture (grazing, cropping) will continue to be allowed in the area. Future expansions will be in accordance with all regulations and codes established by the Province.
- 4.3.7** Intensive agriculture (greenhouses, market gardens) and livestock operations may be permitted to operate as they are in the Light/Medium Industrial / Highway Commercial Policy Area. Operations will be subject to all pertinent agricultural management guidelines and controls to reduce potential conflict with adjacent non-agricultural land uses.
- 4.3.8** At the subdivision or development permit stage, Lamont County may require risk and environmental impact assessments as part of the application process for industrial uses. The risk assessment shall be completed to the satisfaction of Lamont County to ensure suitable setbacks are provided to mitigate any effect on the safety, use, amenity or enjoyment of adjacent or nearby uses.
- 4.3.9** Site-specific activities including road and rail traffic, noise, vibration, smoke, dust, odour, fumes, and lighting shall be evaluated at the time of development permit application so that nuisance is mitigated to an appropriate level to the satisfaction of Lamont County through implementing applicable industry standards, best practices and regulatory requirements.
- 4.3.10** Outdoor storage shall be screened from roadways and adjacent properties through landscaping, berms, and/or fencing, to the satisfaction of Lamont County.
- 4.3.11** Loading and storage facilities shall be located away from residential uses, where feasible, and appropriately screened and/or buffered to the satisfaction of Lamont County.

- 4.3.12** Landscaping, berms and/or fencing shall be provided for new industrial development along highway corridors and adjacent to residential uses in accordance with Lamont County requirements.
- 4.3.13** Buffers may be required between uses which may be incompatible with adjacent or nearby uses to minimize land use conflict, risk, and nuisance, to the satisfaction of the County. Required buffering will be determined by Lamont County at the subdivision or development permit stage. Buffers may be subject to a landscape management plan prepared by the proponent to the satisfaction of the County.
- 4.3.14** Nuisance, including visual, odour, and noise issues, shall not have a negative impact that extends beyond the property boundary. Buffering and other mitigation measures shall be utilized to achieve this, where necessary, in accordance with Lamont County's Land Use Bylaw.

4.4 AGRICULTURE INDUSTRIAL POLICY AREA

Purpose

The purpose of the Agriculture Industrial Policy Area is to foster agriculture and agriculture-related industrial development that is compatible with adjacent heavy industrial, light/medium industrial / highway commercial, and agricultural uses. This will allow for an appropriate transition of land uses from heavier industry within the centre of the ASP, to less intensive industrial and service uses towards the periphery, and then to agriculture lands outside of the ASP.



Development in the area is intended to support the agriculture industry through value added activities. Use types could include extensive and intensive agriculture, light industrial uses, animal service facilities, general and secondary commercial uses, and kennels, among others.

Objectives

1. Allow and encourage the continuation of existing agricultural development.
2. Provide an area of transition and separation between heavier industry and other uses within the County to minimize land use conflict.
3. Provide a diversity of land uses, including agriculture industrial, that support the **agriculture industry and Alberta's Industrial Heartland**.
4. Encourage synergies and compatibility with nearby heavy industrial, and light/medium industrial / highway commercial uses.

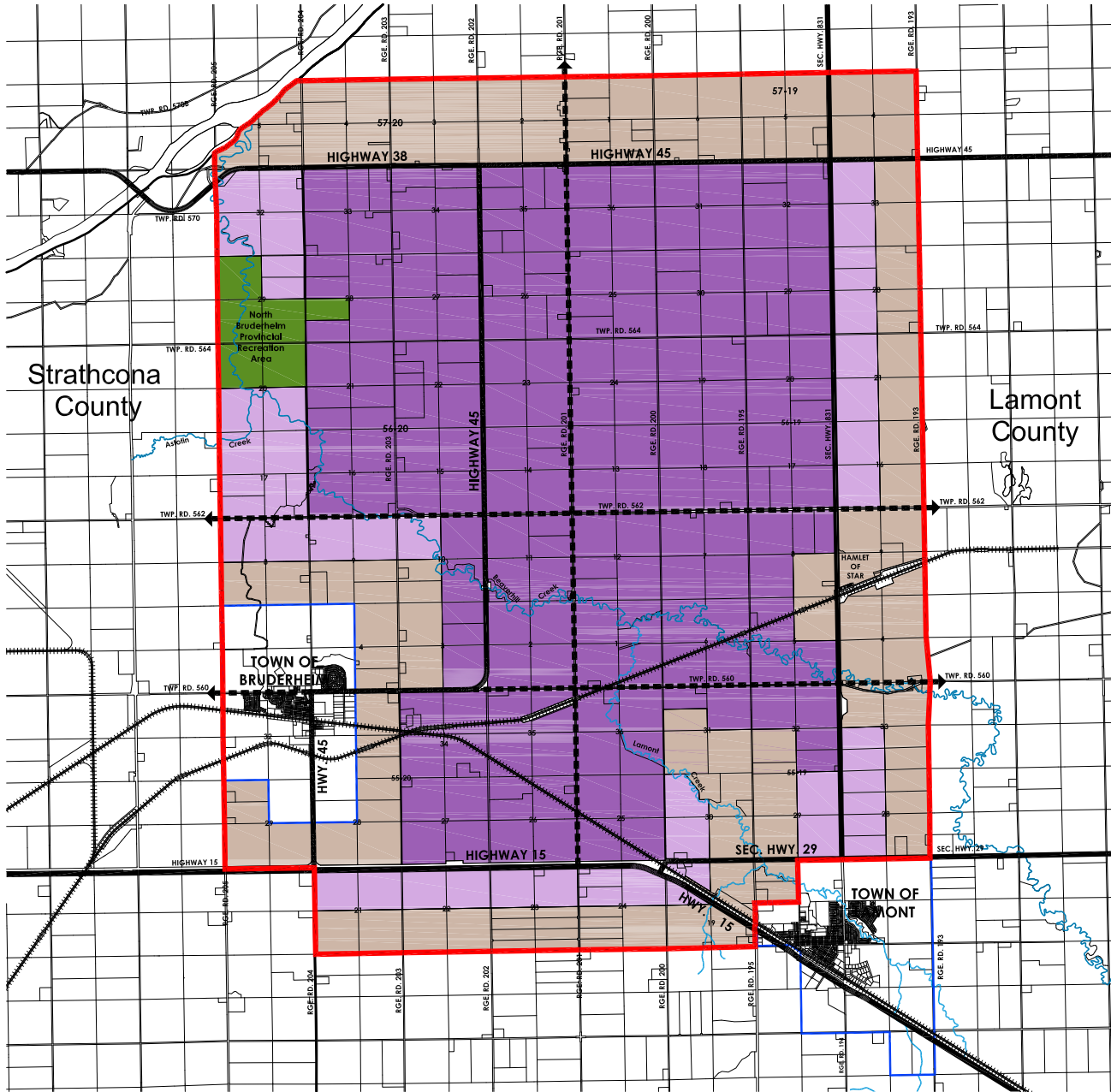
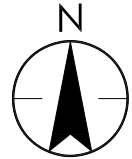
Policies

- 4.4.1** Agriculture industrial uses shall be developed in accordance with Figure 5 Development Concept.
- 4.4.2** Agricultural land uses shall be permitted within this Policy Area.
- 4.4.3** Value added uses that support the agriculture industry are encouraged. Lands may be developed for agriculture industrial land uses and support services. Heavy industrial and medium industrial type uses shall not be accommodated within this area.
- 4.4.4** Extensive agriculture (grazing, cropping) and intensive agriculture (greenhouses, market gardens) will continue to be allowed in the area, subject to the Land Use Bylaw regulations. Future expansions will be in accordance with all regulations and codes established by the Province.
- 4.4.5** Intensive livestock operations may be allowed to operate in the Agriculture Industrial Policy Area subject to the Land Use Bylaw regulations. Current and new operations will be subject to all pertinent agricultural management guidelines and controls to reduce potential conflict with adjacent non-agricultural land uses.
- 4.4.6** All agricultural activities will be permitted to expand their operations through the development of additional support structures. The structures may be subdivided from the farm site in accordance with the Land Use Bylaw.
- 4.4.7** Existing residences and accessory agriculture buildings will be allowed to be maintained and upgraded. Except within areas prone to erosion, subsidence, flooding, particularly within the 1:100 year flood plain, existing dwellings will be permitted to be rebuilt if destroyed. Quarter sections will be allowed to be subdivided into four parcels, in accordance with the Land Use Bylaw.

- 4.4.8** Outdoor storage shall be screened from roadways and adjacent properties through landscaping, berms, and/or fencing, to the satisfaction of Lamont County.
- 4.4.9** Loading and storage facilities shall be located away from residential uses, where feasible, and appropriately screened and/or buffered to the satisfaction of Lamont County.
- 4.4.10** Buffers may be required between uses which may be incompatible with adjacent or nearby uses to minimize land use conflicts, risk and nuisances, to the satisfaction of the County. Required buffering will be determined by Lamont County at the subdivision or development permit stage. Buffers may be subject to a landscape management plan prepared by the proponent to the satisfaction of the County.
- 4.4.11** Landscaping, berms and/or fencing shall be provided for new agriculture industrial development along highway corridors and adjacent to residential uses in accordance with Lamont County requirements.
- 4.4.12** Nuisance, including visual, odour, and noise issues, shall not have a negative impact that extends beyond the property boundary. Buffering and other mitigation measures shall be utilized to achieve this, where necessary, in accordance with Lamont County's Land Use Bylaw.
- 4.4.13** Uses that encourage public assembly, including Religious Facilities, may be permitted within the Agriculture Industrial Policy Area, at the discretion of Lamont County.

- Lamont County A.I.H. ASP Boundary
- Light/Medium Industrial/Highway Commercial
- Heavy Industrial
- Agriculture Industrial

- Major Transportation Corridor
- Highway
- Rail
- ~ Creek
- Municipal Boundary
- North Bruderheim Provincial Recreation Area



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ALBERTA'S INDUSTRIAL HEARTLAND
AREA STRUCTURE PLAN

Figure No.
5.0

Title
DEVELOPMENT
CONCEPT

Table 1 Land Use Statistics

	Area (ha)	% of GA
Gross Area (GA)	20,321.60	100
Rail	98.2	0.5%
Highway	203.9	1.0%
Major Transportation Corridor	156.3	0.8%
North Bruderheim Provincial Recreation Area	363.4	1.8%
Town of Bruderheim	928.8	4.6%
	Area (ha)	% of GDA
Gross Developable Area (GDA)	18,571	100
Heavy Industrial	10,215.5	55.0%
Light/Medium Industrial / Highway Commercial	2555.9	13.8%
Agriculture Industrial	5,799.6	31.2%

5.0 CIRCULATION

5.1 TRANSPORTATION NETWORK

Purpose

The proposed transportation network for the ASP includes rail, major transportation corridors, and a hierarchy of roadways that will support existing uses and future development. Figure 4 Site Features illustrates the existing major transportation network components within the Plan area. A Transportation Impact Assessment (TIA) was completed for the ASP to identify transportation system requirements, based on a 20-year horizon, to service anticipated development. The analysis indicated that all the provincial highways will require upgrading to 4 lane highways, including Highway 15, 29, 38, 45, and 831. Township Roads and Range Roads are suitable to remain as 2 lane roadways within the ASP. Township Road 560, Township Road 562, and Range Road 201 have been identified as collector roadways, and Major Transportation Corridors due to their intended future use for routing several major transportation functions. Recommended major intersections configurations are as follows:

- Highway 38/Highway 45 & Range Road 202/Highway 45 – Signalized.
- Highway 45 & Highway 831 – Signalized.
- Highway 15 & Highway 45/Range Road 204 – Signalized.
- Highway 15 & Highway 29/Range Road 200 – Signalized.
- Highway 29 & Highway 831/Range Road 194 – Signalized.
- Highway 15 & Range Road 195/Highway 831 - Stop Sign.

Rail is a key component of the transportation network within **Alberta's Industrial Heartland**. Existing rail within the Lamont ASP includes CN and CP lines, which both pass through Bruderheim and continue through the southeast portion of the Plan area. Future options for rail expansion will be integral to the success of industrial development. The ASP is intended to allow for future rail staging areas, interchanges, and connections. This will maximize opportunities for the movement of inputs and products within this area and between locations outside the Heartland.

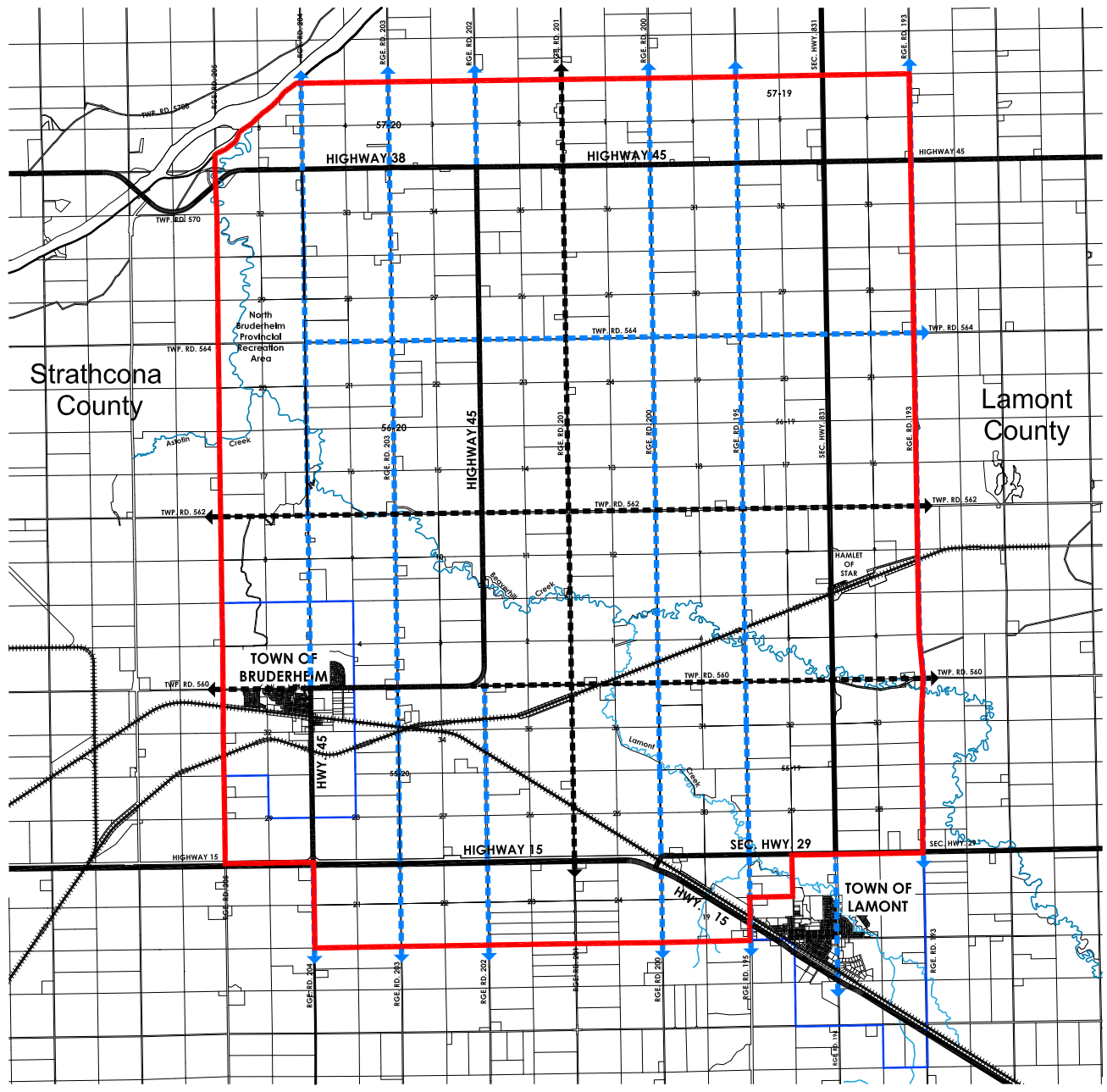
Objectives

1. Provide efficient and safe connections within the ASP to service existing and future uses.
2. Provide compatible alignments and effective circulation and access within the **Alberta's Industrial Heartland and between adjacent regions**.
3. Maintain access for all lands within the ASP.
4. Allow opportunities for rail facilities and connections to serve industrial development.

Policies

- 5.1.1** A network of efficient, safe, and compatible major roadways, as identified in Figure 6 Transportation Network, will provide the principal access and major circulation routes throughout the ASP.
- 5.1.2** Major Transportation Corridors shall serve as primary locations for alignment of a variety of roadways and major linear utilities.
- 5.1.3** Local roadways shall be developed to support industry access, where required, in accordance with Lamont County standards. All parcels shall have physical/direct access to a roadway approved by the County.
- 5.1.4** Emergency access details may be required as part of proposed development applications at the time of the development permitting stage.
- 5.1.5** Rail facilities and access shall be accommodated where necessary to support connections with and serve industrial development.
- 5.1.6** Setbacks from all rail lines shall be provided in accordance with Canadian National, Canadian Pacific, and County standards.
- 5.1.7** Noise attenuation studies and noise mitigation measures shall be implemented, as directed by Lamont County, to mitigate noise impacts from industrial transportation routes on nearby residential areas. A Noise Attenuation Study may be required prior to subdivision or development. Appropriate noise attenuation facilities shall be constructed in accordance with the recommendations from the study and to the satisfaction of Lamont County to reduce the noise impacts of proposed industrial development.
- 5.1.8** Traffic impact assessments may be required with future development to assess anticipated traffic generation and potential impacts on the overall transportation network.

- Lamont County A.I.H. ASP Boundary
- 4 Lane Highway
- - -** 2 Lane Collector Roadway (Major Transportation Corridor)
- - -** 2 Lane Local Roadway
- |||||** Rail



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Figure No.
6.0

Title
TRANSPORTATION
NETWORK

6.0 SERVICING STRATEGY

6.1 UTILITY SERVICING

Purpose

The servicing strategy for the ASP provides potable water, wastewater, and stormwater servicing concepts. Due to the large service area, the servicing concepts are developed at a high level to provide flexibility in accommodating development that will likely occur in a non-contiguous manner. Also, depending on the specific development, the individual servicing requirements will likely vary significantly. Each of the utility servicing concepts balances economic and environmental considerations to ensure sustainable development of the area. While servicing for development within the Plan area has been, and is expected to be, self-contained for each development site, the Plan provides overall direction for major servicing components to ensure that servicing for the area remains coordinated and functional, as shown on Figure 7, 8 and 9.

Potable Water Servicing

The proposed water servicing plan is intended to supply potable water only. Fire flow and process water supply requirements will need to be addressed by each site developer.

Based on the assumed worker populations and demand requirements, the existing reservoir and pumphouse has sufficient capacities to accommodate approximately 20% to 25% of service area development. The County will need to ensure sufficient space is reserved for future expansion of the reservoir at the current site.

The existing water supply rate from the Capital Region Vegreville Corridor Water Service Commission (CRVCWSC) is sufficient to supply approximately 20% of the ultimate development potable water servicing requirement. As development progresses within the study area, the County will need to monitor consumption rates and advise CRVCWSC in advance for future increases in the supply rates.

The proposed distribution system is shown on Figure 7 Potable Water Servicing. Most of the required distribution mains are 200 mm diameter with two pipes coming out from the reservoir that are 300 mm in diameter. Due to the existing topography and location of the existing reservoir and the pump house, six pressure reducing valves will be required. A small area south of Highway 15 with ground elevations above 690 m will require a booster station or increasing of pumphouse operating pressure.

Wastewater Servicing

For wastewater servicing, the ASP will be serviced by privately owned on-site storage which will be emptied periodically with trucks. The hauled wastewater will then be disposed of at designated/accepting treatment facilities. There are two nearby lagoons for potential wastewater disposal, one for the Town of Bruderheim and the other for the Town of Lamont. Under the ultimate development condition, the Lamont ASP will generate approximately 1.1M m³ of wastewater annually requiring storage/disposal. As existing lagoon capacities approach,

the County will need to convey the wastewater to the ACRWC treatment plant. This option would require a lift station and approximately 40 km of forcemain and a lagoon for flow equalization. The system could be designed in coordination with other municipalities as a regional system.

Stormwater Servicing

Under the predevelopment condition, the Lamont ASP study area is serviced by Beaverhill Creek and a northern unnamed creek, and their tributaries. Based on the hydrologic analysis, the release rate from the stormwater management facilities will need to be controlled at a maximum release of 3.0 L/s/ha. The onsite and offsite servicing design will be as per the Lamont County General Municipal Servicing Standards. The objectives of the controlled release rates are to prevent overloading of the downstream infrastructure and to prevent erosion of the downstream watercourses. Under post development condition, the storm runoff volumes will increase significantly in the existing watercourses and will likely increase potential for erosion which will require some ongoing erosion control measures within the existing creeks.

Objectives

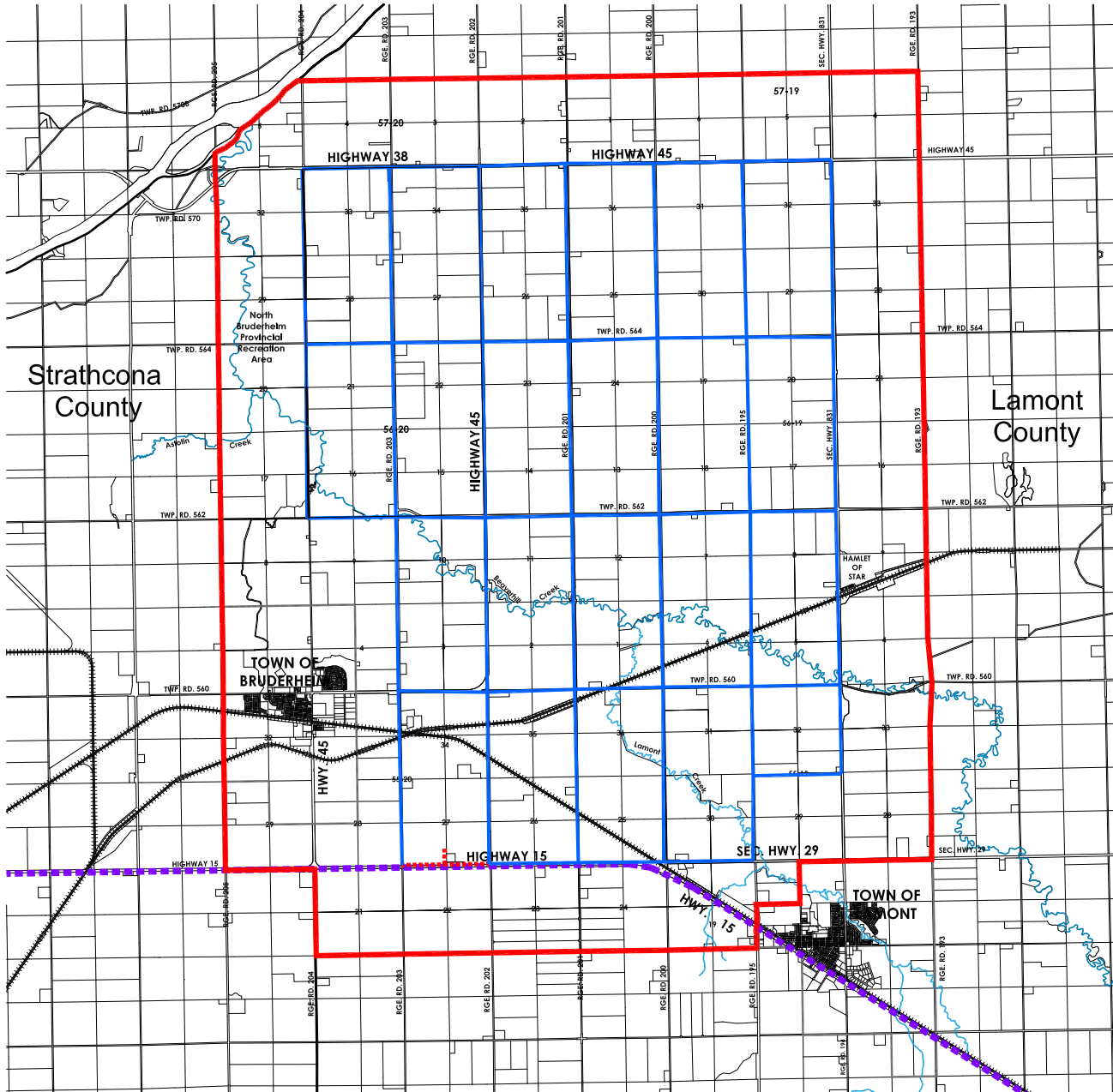
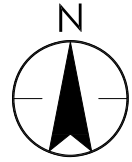
1. Ensure an adequate supply of potable water for future industry and existing uses.
2. Ensure appropriate wastewater management for future industry and existing uses.
3. Ensure appropriate stormwater management for development within the Plan area.

Policies

- 6.1.1** Future development and existing uses within the ASP will be encouraged to collaborate to develop mutually beneficial sanitary and water systems. Servicing shall be in accordance with relevant required technical studies and Lamont County standards.
- 6.1.2** Figure 7 Potable Water Servicing illustrates the overall potable water servicing concept for the ASP. This scheme identifies high level alignments to guide detailed planning. Servicing shall be in accordance with Lamont County General Municipal Servicing Standards.
- 6.1.3** Figure 8 Wastewater Servicing illustrates the overall wastewater servicing components to guide detailed planning of the ASP area. Servicing shall be in accordance with Lamont County General Municipal Servicing Standards.
- 6.1.4** Figure 9 Stormwater Servicing illustrates the overall wastewater servicing concept for the ASP. This identifies high level components to guide detailed planning. Servicing shall be in accordance with Lamont County General Municipal Servicing Standards.
- 6.1.5** Fire flow and process water supply requirements shall be addressed by each site developer.

- 6.1.6** Wastewater shall be managed through privately owned on-site storage which will be emptied periodically and disposed of at designated/accepting treatment facilities.
- 6.1.7** Shallow utilities, including gas, power, and communication, will be provided by the respective service providers to development within the area as needed.

- Lamont County A.I.H. ASP Boundary
- - - Capital Region Vegreville Corridor Water Services Commission
- Watermain 200mm
- - - Watermain 300mm



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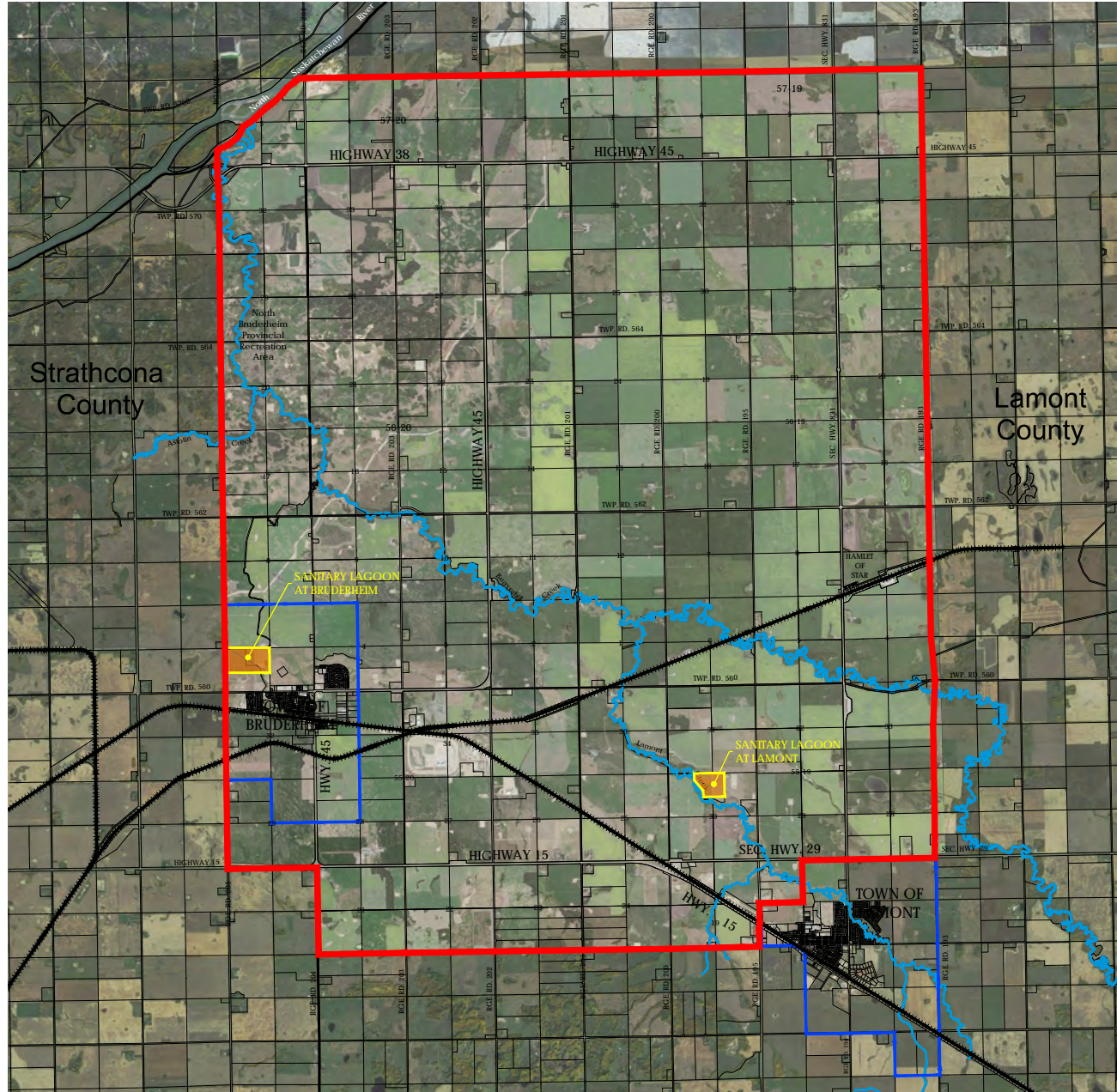
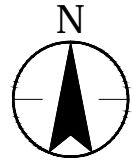
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Figure No.
7.0

Title
POTABLE WATER
SERVICING

- Lamont County A.I.H. ASP Boundary
- Municipal Boundary



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SCALE - 1:110,000
ORIGINAL SHEET - ANSI A



May 1, 2018
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Client/Project

LAMONT COUNTY
ALBERTA'S INDUSTRIAL HEARTLAND
AREA STRUCTURE PLAN

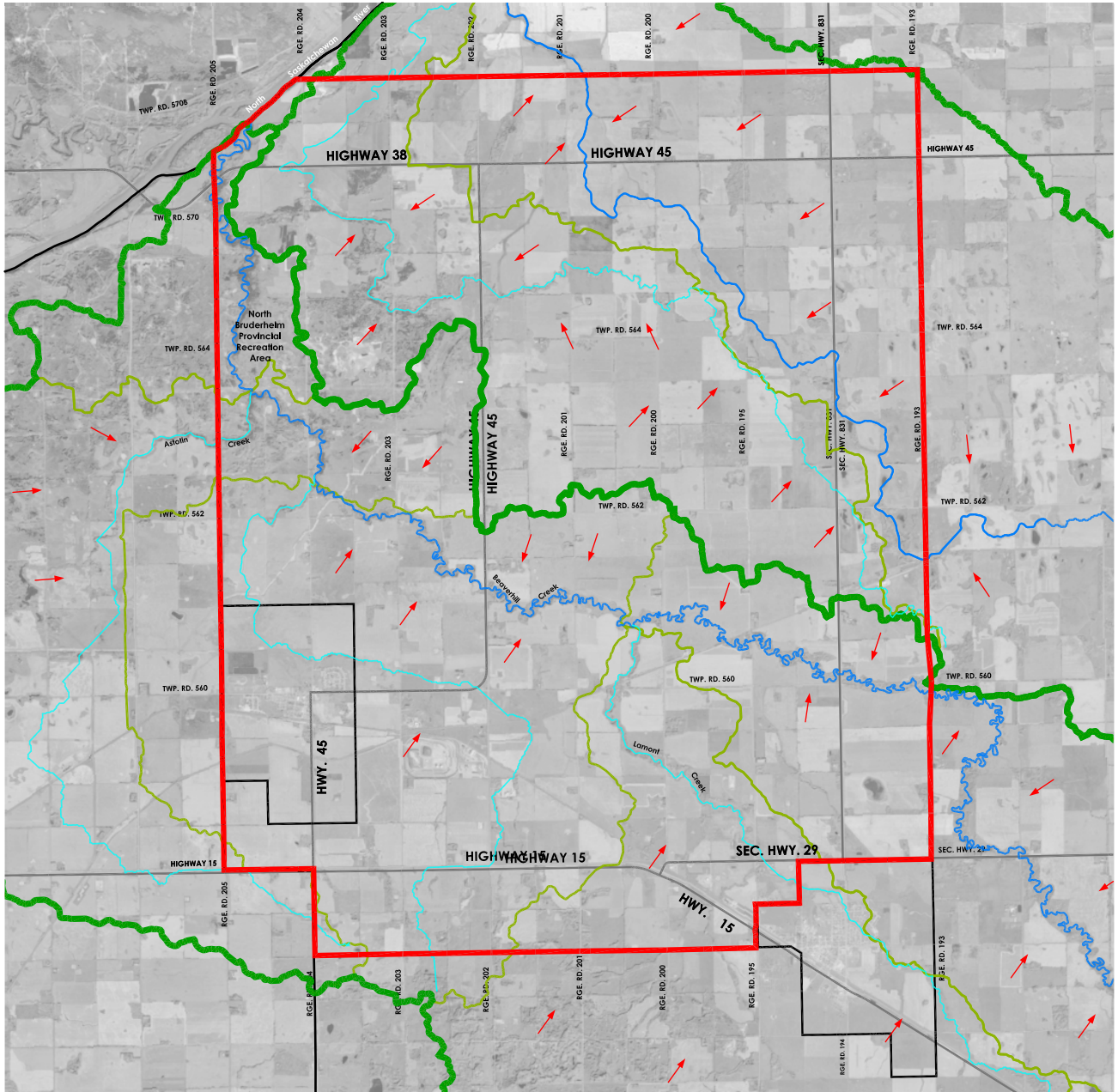
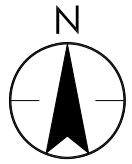
Figure No.

8.0

Title

WASTEWATER
SERVICING

- Lamont County A.I.H. ASP Boundary
- Effective Watershed Boundary
- Subwatershed Boundary
- Creek
- Tributaries
- Municipal Boundary
- ➔ Major Drainage Direction



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ALBERTA'S INDUSTRIAL HEARTLAND
AREA STRUCTURE PLAN

Figure No.
9.0

Title
**STORMWATER
SERVICING**

7.0 IMPLEMENTATION

7.1 IMPLEMENTATION MEASURES

Lamont County's Alberta's Industrial Heartland ASP will be implemented through the LUB, the subdivision process, the development permitting process, and development agreements.

Future supporting studies and plans may need to be undertaken to facilitate development. Additional information may be required, as outlined by Lamont County's LUB, MDP, or due to the nature and magnitude of a proposed development or use, to facilitate the intended development.

Ongoing engagement with Heartland members, municipalities, industry, landowners, other stakeholders, and approving authorities is necessary to ensure continued collaboration and effective implementation. This ASP is considered complimentary to those ASPs of the other Heartland municipalities, and will facilitate coordinated, compatible, and consistent development.

7.2 STAGING

Staging of development will be determined by the locational preferences and site selection processes of individual firms and organizations, as well as through the logical extension of services and infrastructure to support development.

7.3 MONITORING AND AMENDMENT

The County should undertake annual monitoring of the ASP, with a thorough review carried out every five years. Policies, text, and mapping information contained within the Alberta's Industrial Heartland ASP may be amended from time to time in order to remain current and up-to-date in response to broader or more specific issues affecting the Plan area.

Any change to policy, text or mapping information contained within the Alberta's Industrial Heartland ASP shall be in accordance with the MGA and the MDP. MDP amendments that align with the County's overarching vision may be required to accommodate ASP amendments.

Amendments to the Land Use Bylaw may be required with development in accordance with the ASP development concept.

Appendix A GLOSSARY

Buffer	An area (landscaped, natural, or a separate use) set aside or maintained that may include a row of trees, shrubs, earth berm, setback, or fencing to provide visual or physical separation and/or noise attenuation between lots, public roadway, and/or uses.
Extensive Agriculture	Agricultural activity which depends on large areas of land for either the raising of crops or grazing of animals. Extensive agricultural uses also include structures integral to farming activities.
Functional Upland Zone	The extension of the riparian area to the upland area that contributes to the functioning of the water features.
Heavy Industrial	Activities involved in the processing, fabrication, storage, transportation, distribution or wholesaling of the heavy industrial goods which may emit a significant level of noise, smoke, dust, odour, vibration, etc., and which may not be compatible with the surrounding land use.
Highway Commercial	Development through which products or services are available to the motoring public and includes, but is not limited to, service stations or gas bars, and motels.
Intensive Agriculture	Agricultural activity that is capable of being economically successful within a confined area such as greenhouse activities and/or sod farming.
Intensive Livestock Operation	A facility that is capable of confining a specified minimum number of livestock for growing or finishing for market as indicated in the County's Land Use Bylaw.
Light Industrial	Activities involved in the processing, fabrication, storage, transportation, distribution or wholesaling of goods which do not emit a significant level of noise, smoke, dust, odour, vibration, etc., and which are compatible with the surrounding land use.

ALBERTA'S INDUSTRIAL HEARTLAND AREA STRUCTURE PLAN

Medium Industrial	Activities involved in the processing, fabrication, storage, transportation, distribution, or wholesaling of goods, which may have outdoor storage or activities but do not create nuisance beyond the boundaries of the site.
MIACC (Major Industrial Accident Council of Canada)	Organization formed in 1987, which established a set of risk-based land use planning criteria to determine acceptable levels of risk is for an individual to be exposed to, relative to industrial development.
Riparian Area	Lands adjacent to waterbodies and watercourses, where vegetation and wildlife are strongly influenced by the presence of water.
Statutory Plan	A Plan adopted by Municipal Council pursuant to the Municipal Government Act.
Synergy	Cooperative interaction between entities that provides value and performance greater than the sum of individual operations.